## PLANS OF IMPROVEMENTS FOR:

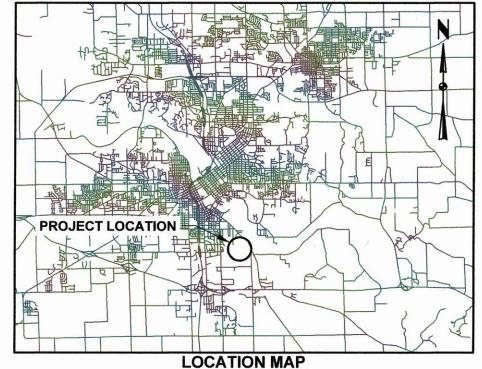
## 2021

# TAIT CUMMINS SPORTS COMPLEX REPAIRS **BID PACKAGE #3- BUILDING REPAIRS CITY OF CEDAR RAPIDS, IOWA**

**CIP NUMBER PUR1120-131 CONTRACT NUMBER** 







INDEX OF SHEETS						
SHEET NO.	DESCRIPTION					
A.01-3	COVER SHEET					
A.02-3	OVERVIEW SITE PLAN					
B.01-3	RESTROOM BUILDING PLAN AND SECTIONS					
B.02-3	DUGOUT PLAN AND ELEVATIONS					
B.03-3	DUGOUT DETAILS AND SECTIONS					
B.04-3	MAINTENANCE SHED REPAIR DETAILS AND SECTIONS					

	ADD ALTERNATE 1
SHEET NO.	DESCRIPTION
B.05-3	BLEACHER COVER PLAN AND SECTIONS
D.01-3	BLEACHER AND BACKSTOP SITE PLAN

PLANS PREPARED FOR:



MAYOR: BRADLEY G. HART

DISTRICT 3: DALE TODD DISTRICT 4: SCOTT OLSON DISTRICT 5: ASHLEY VANORNY

CITY COUNCIL:

AT LARGE: PATRICK LOEFFLER AT LARGE: TYLER OLSON AT LARGE: ANN POE DISTRICT 1: MARTY HOEGER DISTRICT 2: SCOTT OVERLAND



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

KENT C. TURNER, P.E. LICENSE NUMBER: 11997

MY LICENSE RENEWAL DATE IS: DECEMBER 31 2022

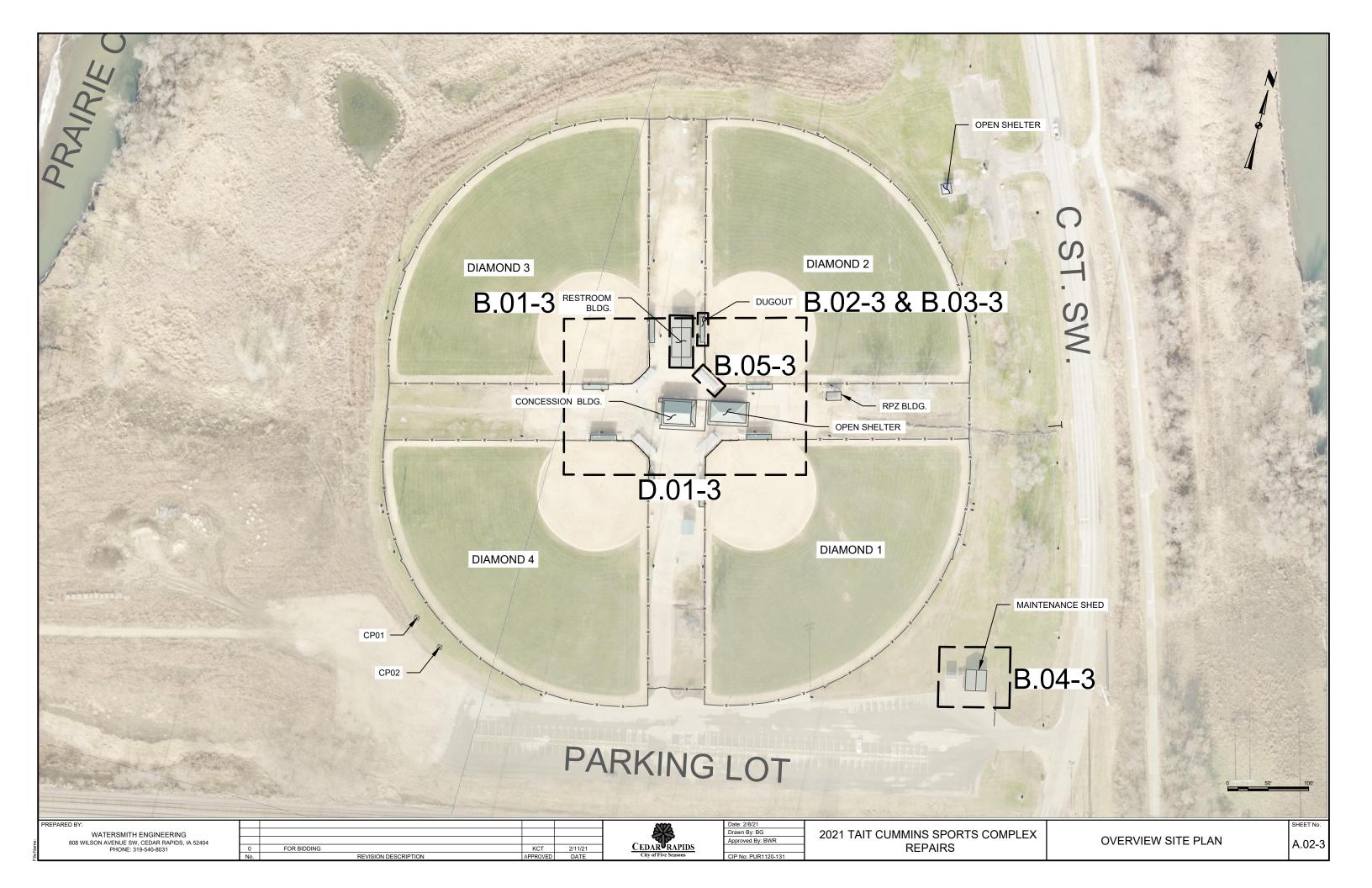
PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS

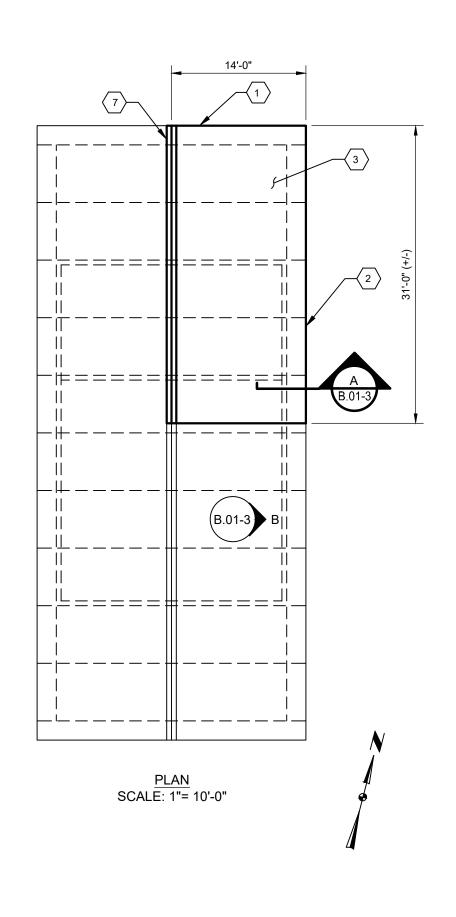
SHEET No. A.01-3

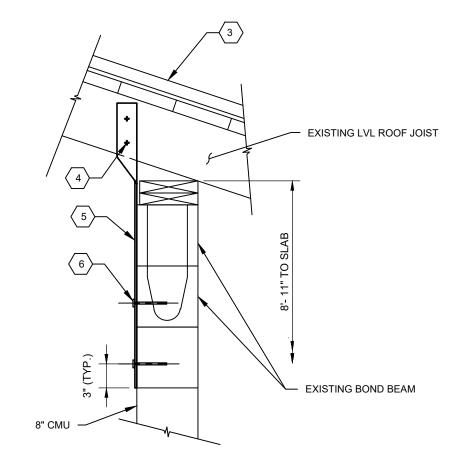
WATERSMITH ENGINEERING
808 WILSON AVENUE SW, CEDAR RAPIDS, IA 52404

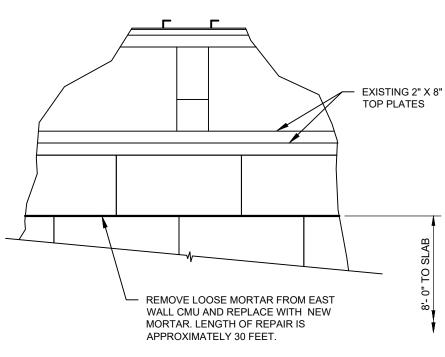
PLANS PREPARED BY:

ENGINEERING PHONE: 319-540-8031













### **RESTROOM BUILDING NOTES:**



- 1. PREFINISHED ALUMINUM BRAKE METAL FASCIA. COLOR TO MATCH EXISTING ROOF.
- 2. PREFINISHED ALUMINUM WRAP. COLOR AND PROFILE TO MATCH EXISTING ROOF.
- 3. PREFINISHED METAL STANDING SEAM ROOF PANELS. PROFILE AND COLOR TO MATCH EXISTING ROOF PANELS. ATTACHMENT OF PANELS TO ROOF DECK TO BE PER MANUFACTURER'S REQUIREMENTS FOR BUILDING CODE WIND VELOCITY OF 115 MILES PER HOUR.
- 4. TWO 5/8" DIA. X 3" LAG SCREWS (GALVANIZED).
- 5. TIE DOWN STRAP 1/4" X 2 1/2" ASTM A36 MATERIAL (GALVANIZED). TWIST AS REQUIRED TO FIT FLAT AGAINST ROOF JOIST AND FACE OF CMU WALL.
- 6. TWO ½" DIA. MASONRY ANCHORS HILTI HIT HY20 OR EQUAL. INSTALL PER MANUFACTURER'S REQUIREMENTS, INCLUDING USE OF SCREEN TUBE IN HOLLOW CMU. ANCHOR ROD, NUT, AND WASHER SHALL BE GALVANIZED.
- 7. PREFINISHED ROOF RIDGE CAP. COLOR AND PROFILE TO MATCH EXISTING.

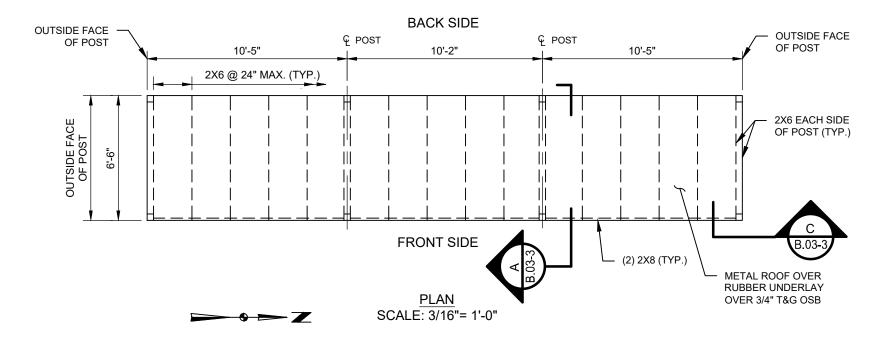
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1	WATERSMITH ENGINEERING					_
<u>.</u> ;	808 WILSON AVENUE SW, CEDAR RAPIDS, IA 52404					
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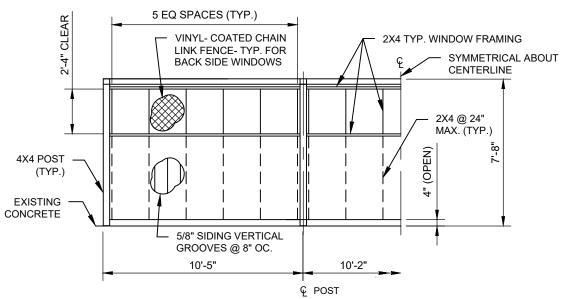


Date: 2/8/21
Drawn By: BG
Approved By: BWR
CIP No: PUR1120-131

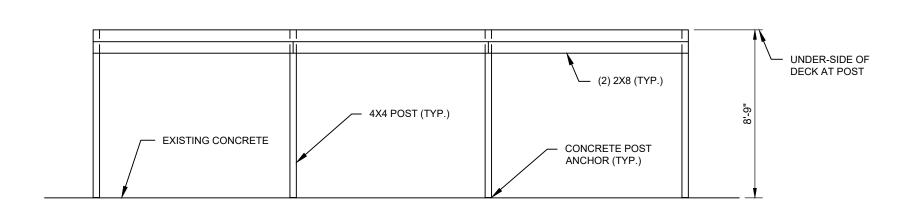
2021 TAIT CUMMINS SPORTS COMPLEX REPAIRS RESTROOM BUILDING PLAN AND SECTIONS

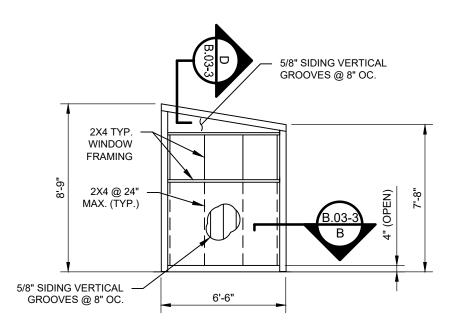
B.01-3





## PARTIAL BACK ELEVATION SCALE: 3/16"= 1'-0"





FRONT ELEVATION SCALE: 3/16"= 1'-0"

END ELEVATION SCALE: 3/16"= 1'-0"

PREPARED BY:

WATERSMITH ENGINEERING
808 WILSON AVENUE SW, CEDAR RAPIDS, IA 52404
PHONE: 319-540-8031

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No. REVISION DESCRIPTION



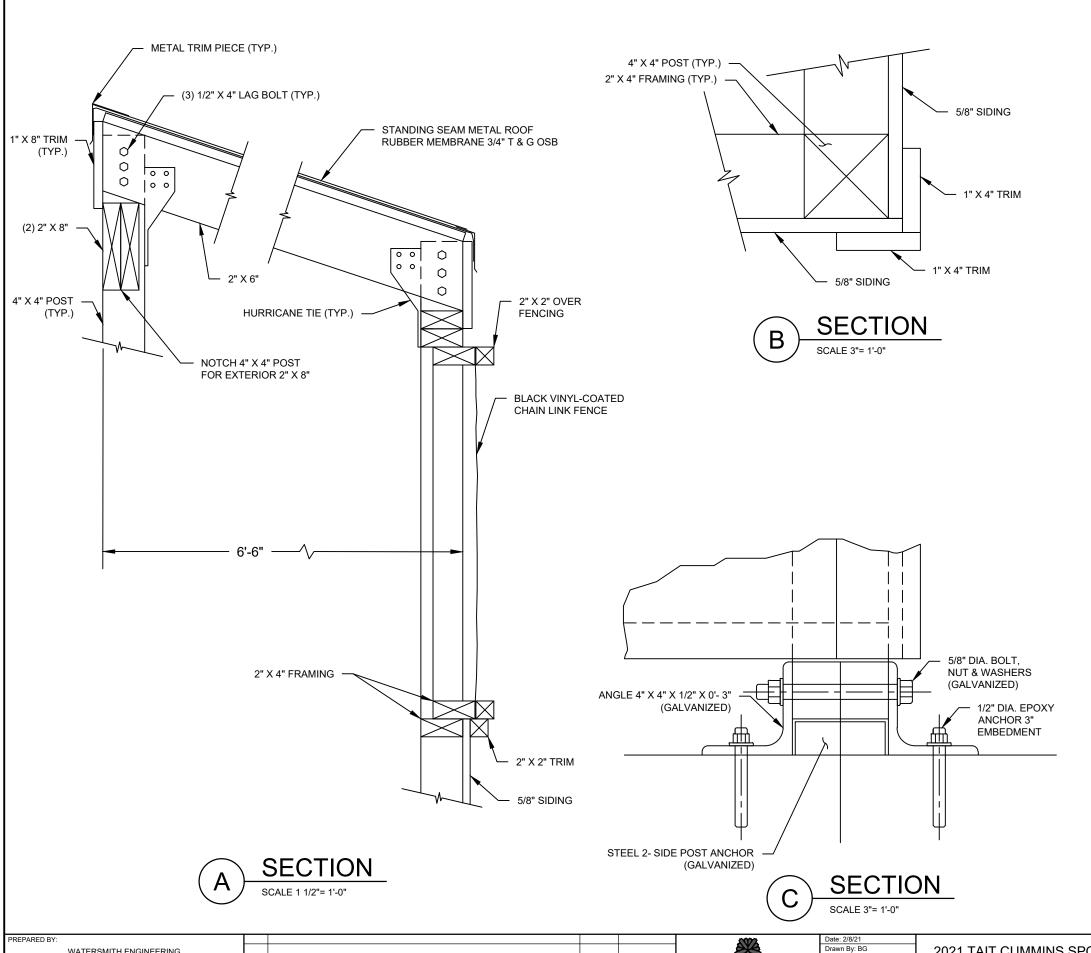
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Drawn By: BG
Approved By: BWR

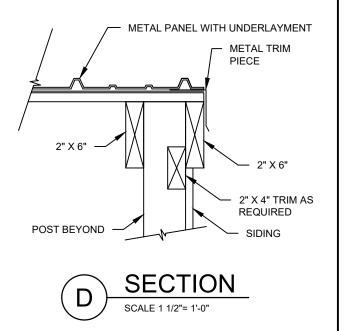
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2021 TAIT CUMMINS SPORTS COMPLEX REPAIRS

DUG-OUT PLAN AND ELEVATIONS

B.02-3





#### **DUGOUT NOTES:**

- 1. GENERAL DUGOUT CONSTRUCTION SHALL MATCH THE CONSTRUCTION OF THE EXISTING DUGOUTS AT THE ADJACENT DIAMONDS; INCLUDING TRIM DETAILS, MAIN SIDING COLOR, AND TRIM COLOR.
- 2. ALL WOOD USED FOR FRAMING AND TRIM SHALL BE PRESSURE TREATED FOR USE IN GROUND CONTACT. ALL HARDWARE AND SCREWS USED FOR FRAMING OF TREATED WOOD MEMBERS SHALL BE COMPATIBLE WITH AND IN COMPLIANCE WITH THE TREATED WOOD MANUFACTURER'S RECOMMENDATIONS FOR FASTENERS AND HARDWARE. DO NOT COAT TREATED WOOD UNTIL THE MOISTURE CONTENT MEETS THE REQUIREMENTS OF THE COATING MANUFACTURER.
- 3. THE SPACING OF VERTICAL GROOVES IN THE SIDING SHALL MATCH THAT AT EXISTING DUGOUTS. ATTACH SIDING TO EACH SUPPORT FRAMING MEMBER WITH #8 SCREWS AT A MAXIMUM SPACING OF 6 INCHES. COAT EXTERIOR OF SIDING WITH ONE COAT OF PRIMER AND TWO COATS OF EXTERIOR LATEX PAINT. PRIMER SHALL BE COMPATIBLE WITH FINISH PAINT.
- 4. ROOF PANELS SHALL BE 24 GAGE PREFINISHED METAL STANDING SEAM ROOF PANELS WITH A PROFILE AND COLOR THAT MATCHES EXISTING DUGOUTS. ATTACHMENT OF PANELS TO OSB SHALL BE PER MANUFACTURER'S REQUIREMENTS FOR BUILDING CODE WIND VELOCITY OF 115 MILES PER HOUR.
- 5. HURRICANE TIES SHALL BE MITEK RT7A 18 GAGE, OR EQUAL. TIES SHALL BE GALVANIZED.
- 6. EPOXY ANCHORS SHALL BE HILTI HIT-HY 150 MAX WITH HAS-V36 RODS, OR EQUAL. RODS, WASHERS, AND NUTS SHALL BE GALVANIZED.



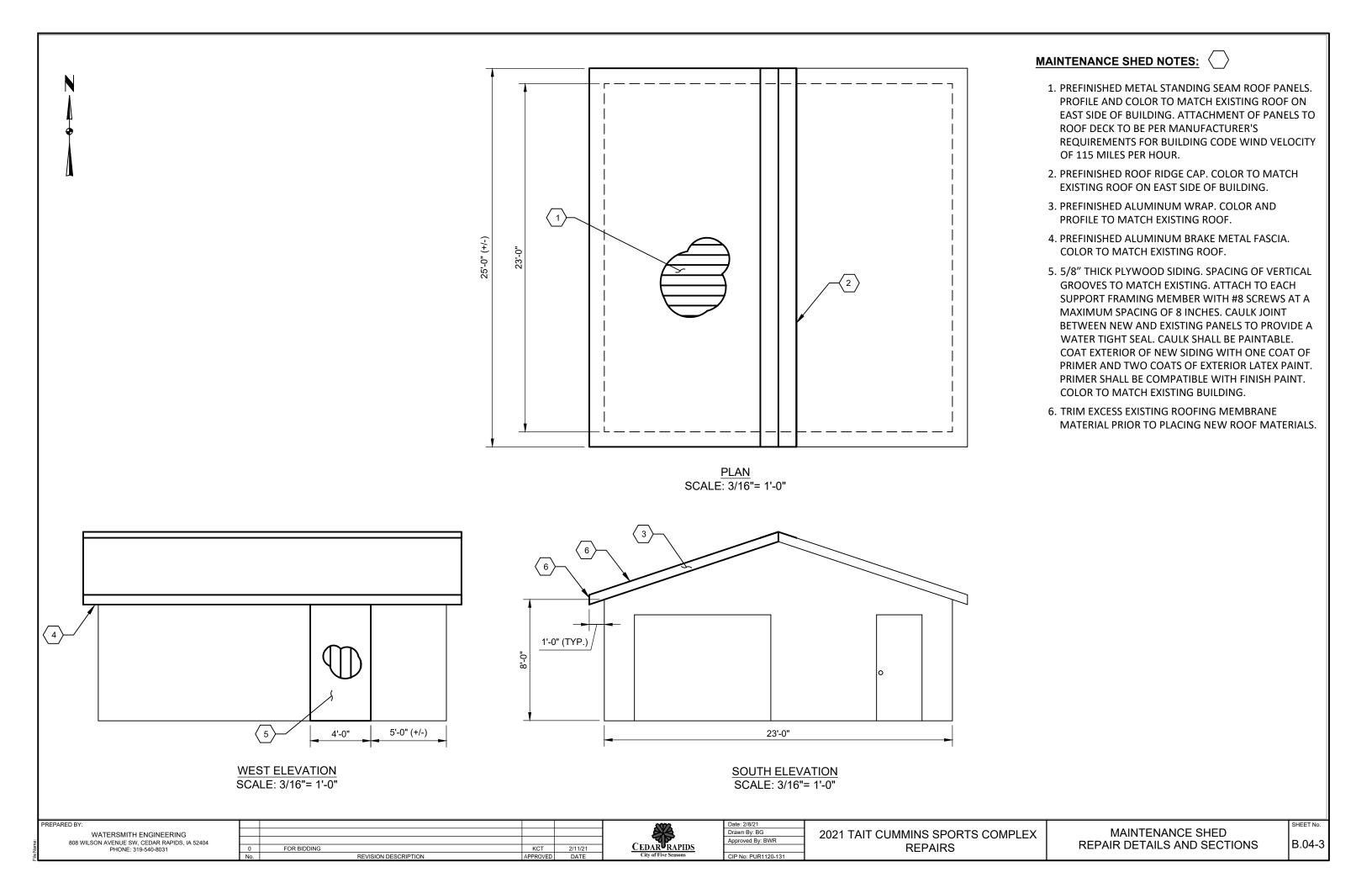
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CIP No: PUR1120-131

2021 TAIT CUMMINS SPORTS COMPLEX REPAIRS

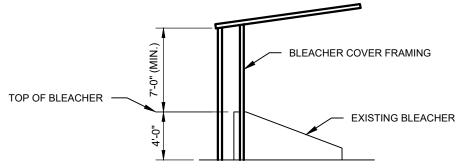
DUGOUT DETAILS AND SECTIONS

SHEET No. B.03-3

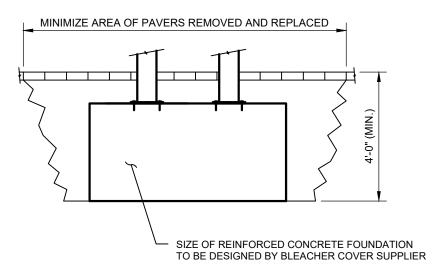


# BASELINE THRU HOME PLATE AND CENTER OF PITCHER'S MOUND **BLEACHER COVER** .06 BACKSTOP FENCING 20, FOUNDATION (TYP.) **PLAN** SCALE: 1/8"= 1'-0" BLEACHER COVER AT DIAMOND #2 SHOWN BLEACHER COVERS AT DIAMONDS #1, #3, #4 SIMILAR

\* VERIFY THAT BLEACHER COVER SUPPORT FRAME WILL CLEAR EXISTING BLEACHER LENGTH OF 30'- 0" (+/-)



**ELEVATION** SCALE: 1/8"= 1'-0"



**FOUNDATION DETAIL** NO SCALE

**ADD ALTERNATE 1** 

#### **BLEACHER COVER DESIGN NOTES:**

- 1. BLEACHER COVER SHALL BE A CANTILEVERED FRAME TYPE WITH A REMOVABLE FABRIC COVER AS MANUFACTURED BY: SUPERIOR SHADE, SHADE SYSTEMS ENTERPRISES, USA SHADE & FABRIC STRUCTURES, OR EQUAL. THE COLUMNS THAT SUPPORT THE FRAME SHALL BE LOCATED SO THAT THE COLUMNS DO NOT OBSTRUCT THE VIEW OF THE FIELD FOR PEOPLE SITTING IN THE BLEACHERS BELOW THE COVER.
- 2. DESIGN SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) 2015 EDITION AND ALL APPLICABLE MODIFICATIONS TO THE CODE ADOPTED BY THE CITY OF CEDAR RAPIDS BUILDING CODE, INCLUDING THE DESIGN WIND VELOCITY OF 115 MILES PER HOUR.
- 3. DESIGN OF BLEACHER COVER AND FOUNDATION SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF IOWA. DRAWINGS THAT ARE SIGNED AND SEALED BY THE DESIGN ENGINEER SHALL BE SUBMITTED.
- 4. ALL COLUMNS. BEAMS. BRACES. AND BASEPLATES SHALL BE CONSTRUCTED OF STEEL WITH A MINIMUM YIELD STRENGTH OF 36.000 PSI.
- 5. CABLES USED TO SUPPORT THE FABRIC SHADE SHALL BE STAINLESS STEEL AND SHALL BE COATED WITH VINYL TO PREVENT ABRASION OF THE FABRIC. CABLES SHALL BE PRE-CUT TO LENGTH AND CLAMPED IN THE FACTORY, DESIGN SHALL NOT REQUIRE THAT CABLES ARE MEASURED AND CUT ON SITE.
- 6. COLUMN BASES SHALL BE DESIGNED WITH BASEPLATES THAT ARE BOLTED TO THE FOUNDATION. A MINIMUM OF FOUR ANCHOR BOLTS PER COLUMN ARE REQUIRED. THE BASEPLATES SHALL BE LOCATED BELOW GRADE AS SHOWN ON THE DRAWING.
- 7. THE FOUNDATION SHALL BE DESIGNED USING REINFORCED CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS OF AGE. REINFORCING SHALL BE IN ACCORDANCE WITH ASTM A615 WITH A YIELD STRENGTH OF 60.000 PSI.
- 8. THE BLEACHER COVER SHALL BE DESIGNED AND CONSTRUCTED SO THAT THE FABRIC SHADE CAN BE REMOVED, AND RE-INSTALLED, WITH A MINIMUM OF LABOR AND EQUIPMENT REQUIRED. THE MANUFACTURER SHALL ADVISE THE CITY OF CEDAR RAPIDS ON THE STORAGE REQUIREMENTS FOR THE FABRIC SHADE - TEMPERATURE OF STORAGE AREA, VOLUME OF STORAGE AREA, ETC.
- 9. STEEL MEMBERS SHALL BE GALVANIZED AND COATED FOR EXTERIOR EXPOSURE. FINISH COAT SHALL BE A HIGH-QUALITY GLOSS THAT IS FACTORY APPLIED. COLOR CHOSEN BY OWNER.
- 10. THE STRUCTURAL INTEGRITY OF ALL STEEL COMPONENTS SHALL HAVE A 10 YEAR NON-PRORATED WARRANTY.
- 11. THE COVER FABRIC SHALL HAVE A 6 YEAR NON-PRORATED WARRANTY AND THEREAFTER BE PRO-RATED AT 20% PER YEAR FOR 4 YEARS REGARDLESS OF THE COLOR CHOSEN BY THE OWNER. FABRIC SHALL BE MADE OF HIGH-DENSITY POLYETHYLENE MATERIAL.

REPARED BY WATERSMITH ENGINEERING 808 WILSON AVENUE SW, CEDAR RAPIDS, IA 52404 PHONE: 319-540-8031 FOR BIDDING

REVISION DESCRIPTION



Drawn By: BG Approved By: BWR CIP No: PUR1120-131

2021 TAIT CUMMINS SPORTS COMPLEX **REPAIRS** 

SHEET No. **BLEACHER COVER PLAN AND SECTIONS** 

