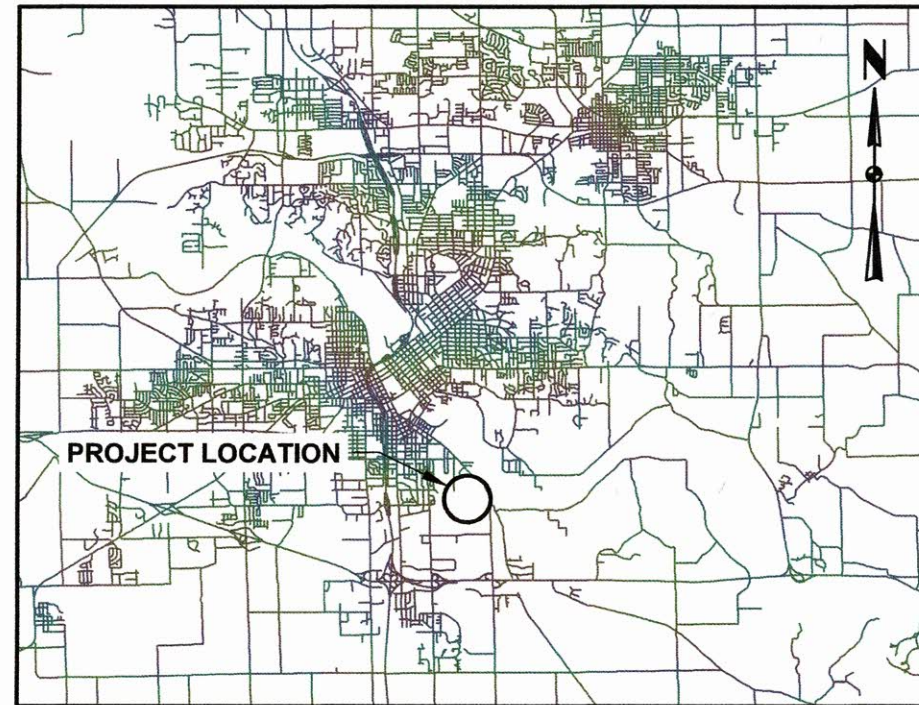


PLANS OF IMPROVEMENTS FOR:
2021
TAIT CUMMINS SPORTS COMPLEX REPAIRS
BID PACKAGE #3- BUILDING REPAIRS
CITY OF CEDAR RAPIDS, IOWA
CIP NUMBER PUR1120-131
CONTRACT NUMBER



LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
A.01-3	COVER SHEET
A.02-3	OVERVIEW SITE PLAN
B.01-3	RESTROOM BUILDING PLAN AND SECTIONS
B.02-3	DUGOUT PLAN AND ELEVATIONS
B.03-3	DUGOUT DETAILS AND SECTIONS
B.04-3	MAINTENANCE SHED REPAIR DETAILS AND SECTIONS

ADD ALTERNATE 1	
SHEET NO.	DESCRIPTION
B.05-3	BLEACHER COVER PLAN AND SECTIONS
D.01-3	BLEACHER AND BACKSTOP SITE PLAN

PLANS PREPARED BY:

WATERSMITH ENGINEERING
808 WILSON AVENUE SW, CEDAR RAPIDS, IA 52404
PHONE: 319-540-8031

PLANS PREPARED FOR:

CEDAR RAPIDS
City of Five Seasons

CITY COUNCIL:

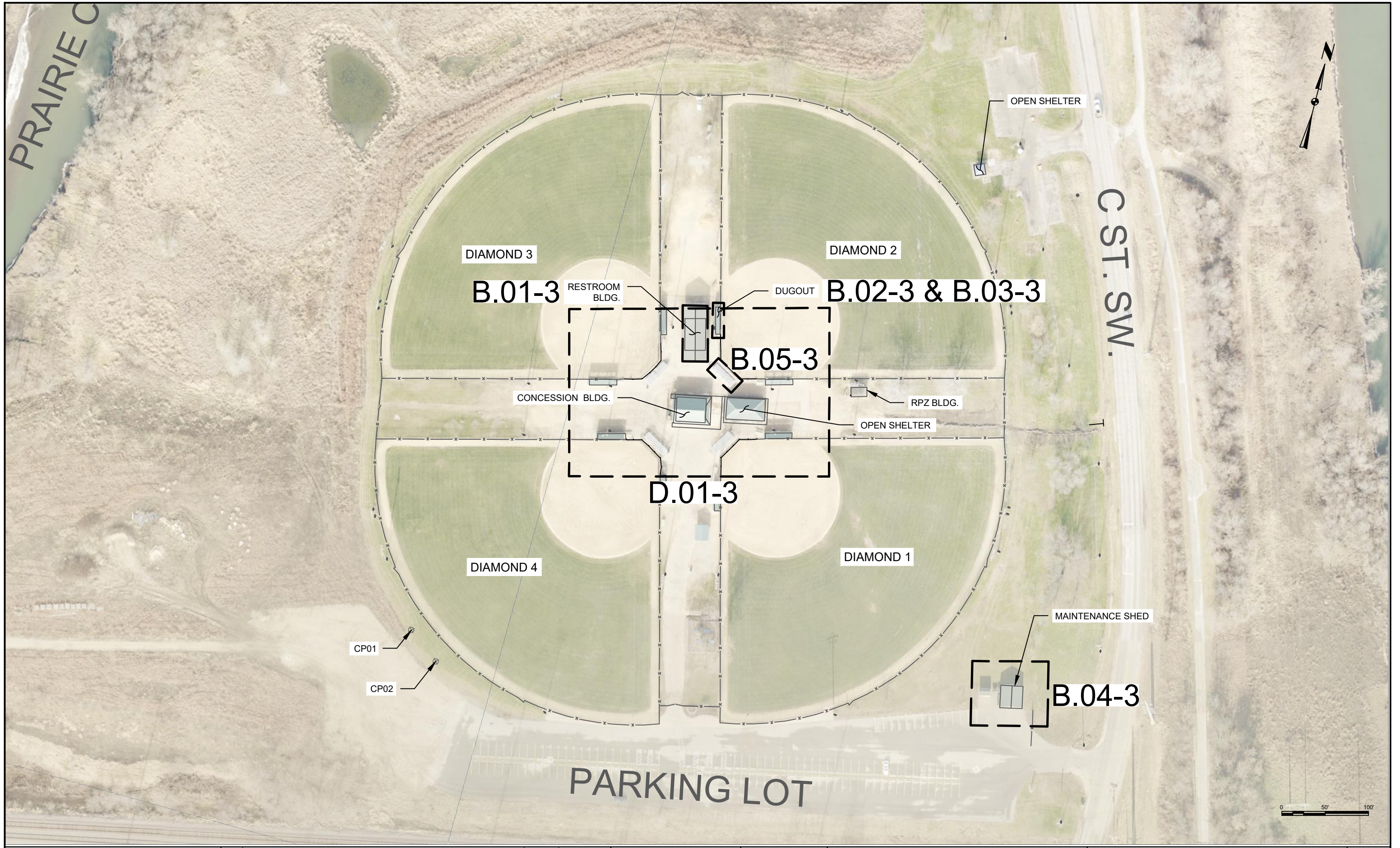
MAYOR: BRADLEY G. HART
AT LARGE: PATRICK LOEFFLER
AT LARGE: TYLER OLSON
AT LARGE: ANN POE
DISTRICT 1: MARTY HOEGER
DISTRICT 2: SCOTT OVERLAND
DISTRICT 3: DALE TODD
DISTRICT 4: SCOTT OLSON
DISTRICT 5: ASHLEY VANORNY

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Kent C. Turner 2/11/21
KENT C. TURNER, P.E. DATE

LICENSE NUMBER: 11997
MY LICENSE RENEWAL DATE IS: DECEMBER 31 2022

PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS



PREPARED BY:
WATERSMITH ENGINEERING
808 WILSON AVENUE SW, CEDAR RAPIDS, IA 52404
PHONE: 319-540-8031

0	FOR BIDDING	KCT	2/11/21
No.	REVISION DESCRIPTION	APPROVED	DATE

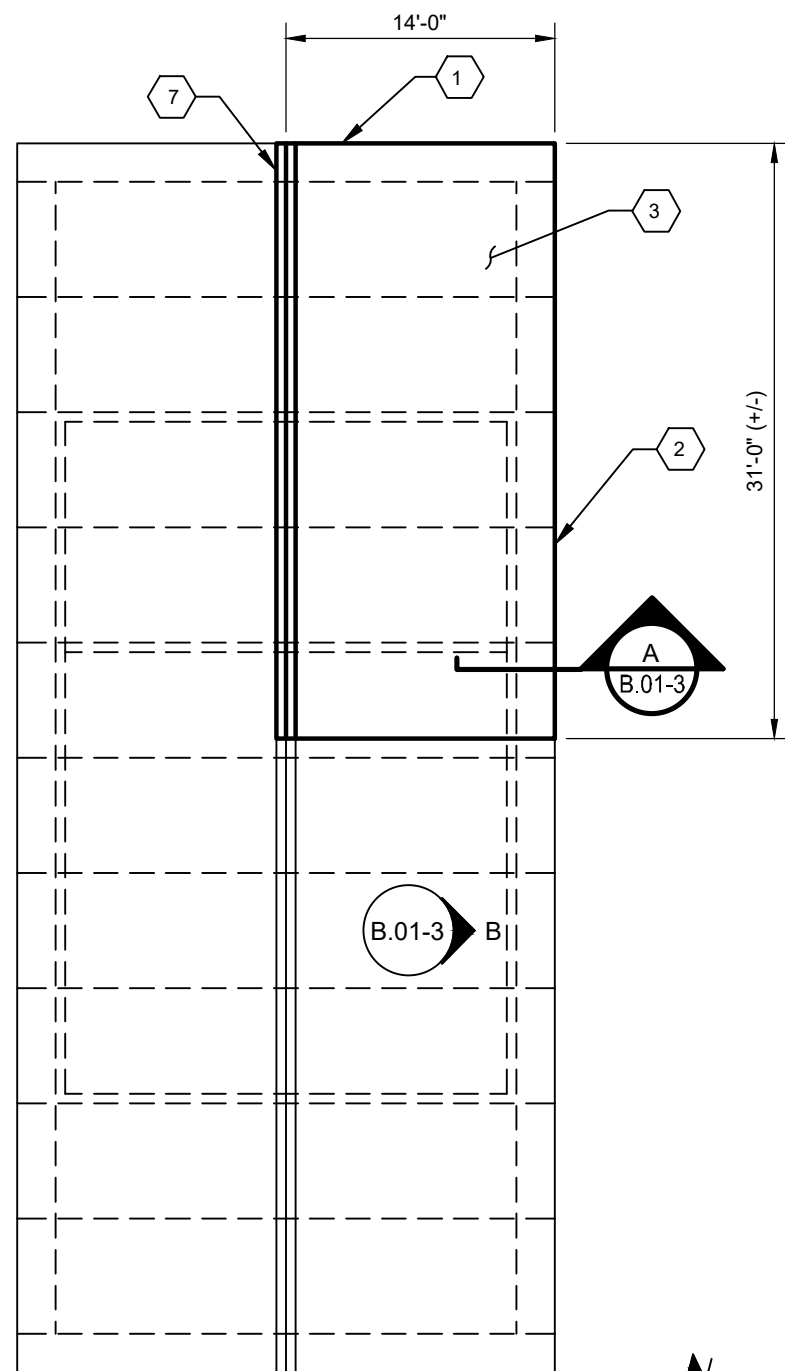


Date: 2/8/21
Drawn By: BG
Approved By: BWR
CIP No: PUR1120-131

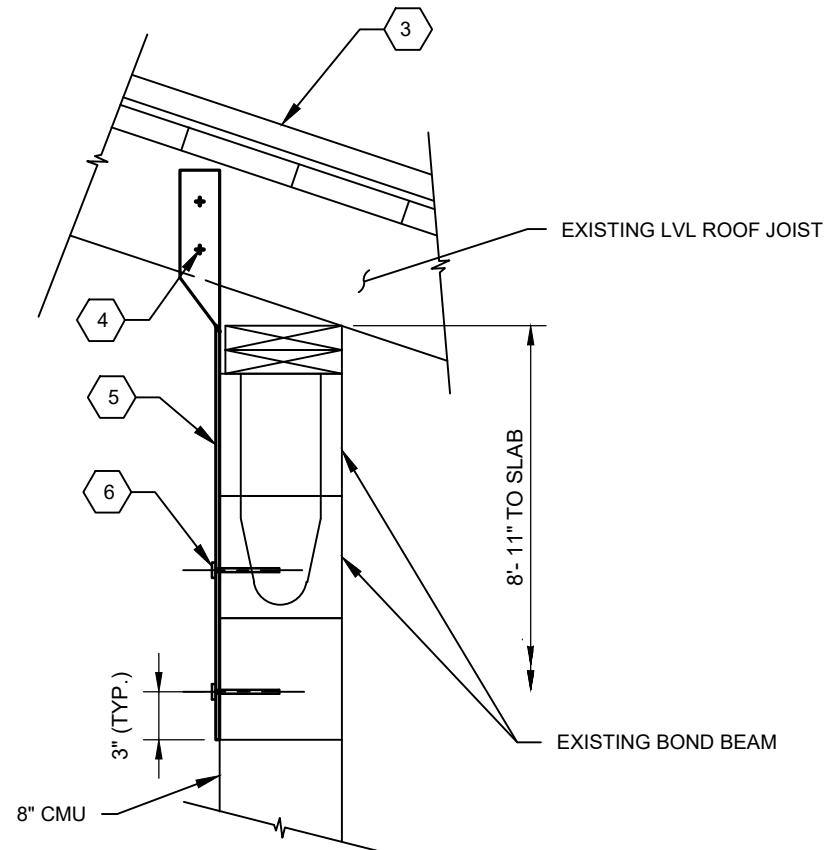
2021 TAIT CUMMINS SPORTS COMPLEX
REPAIRS

OVERVIEW SITE PLAN

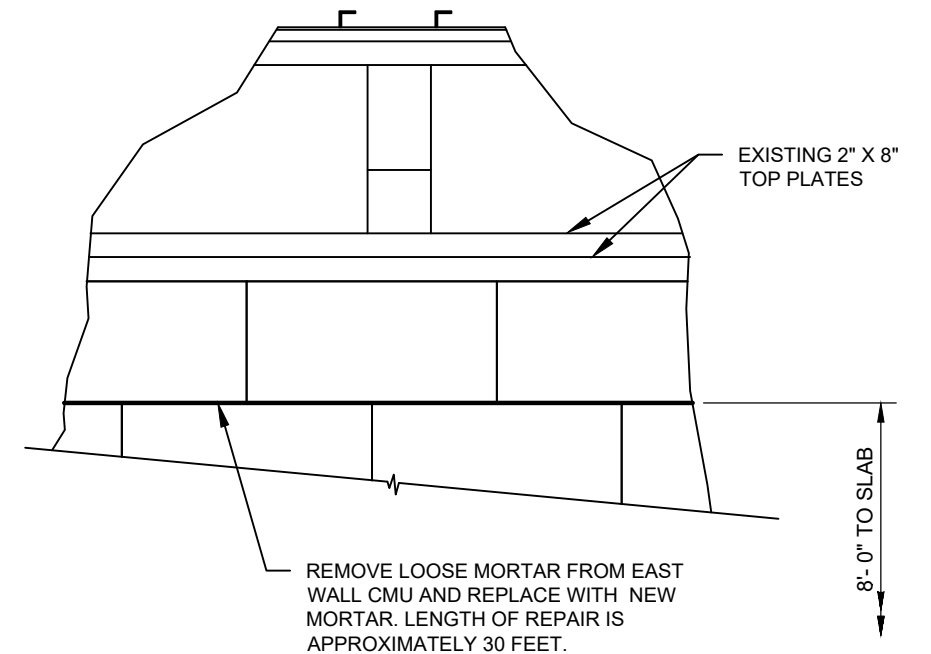
SHEET No.
A.02-3



PLAN
SCALE: 1"= 10'-0"



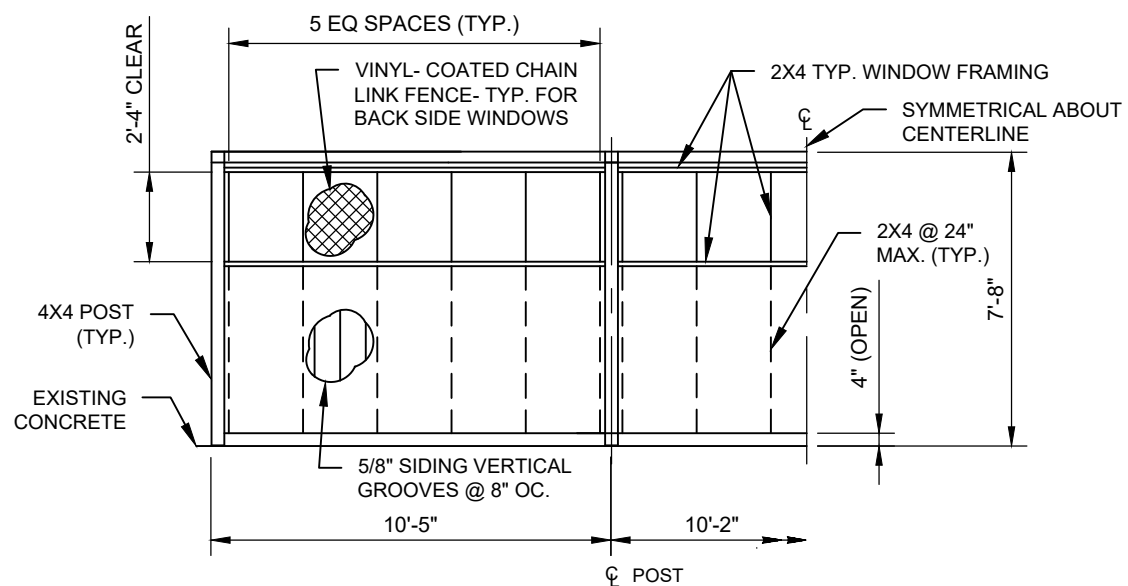
A SECTION
SCALE 1"= 1'-0" (TYPICAL AT SEVEN LOCATIONS ALONG EAST WALL)



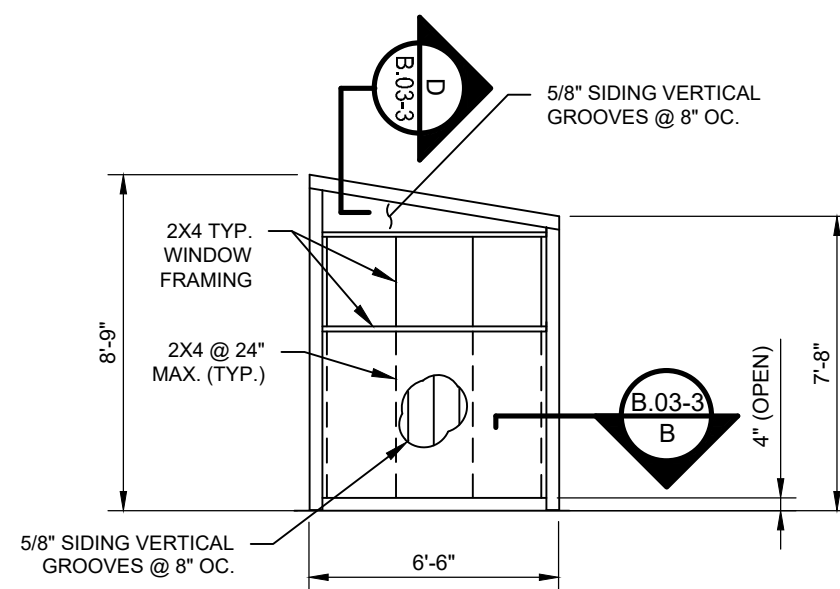
B ELEVATION
SCALE 1"= 1'-0"

RESTROOM BUILDING NOTES:

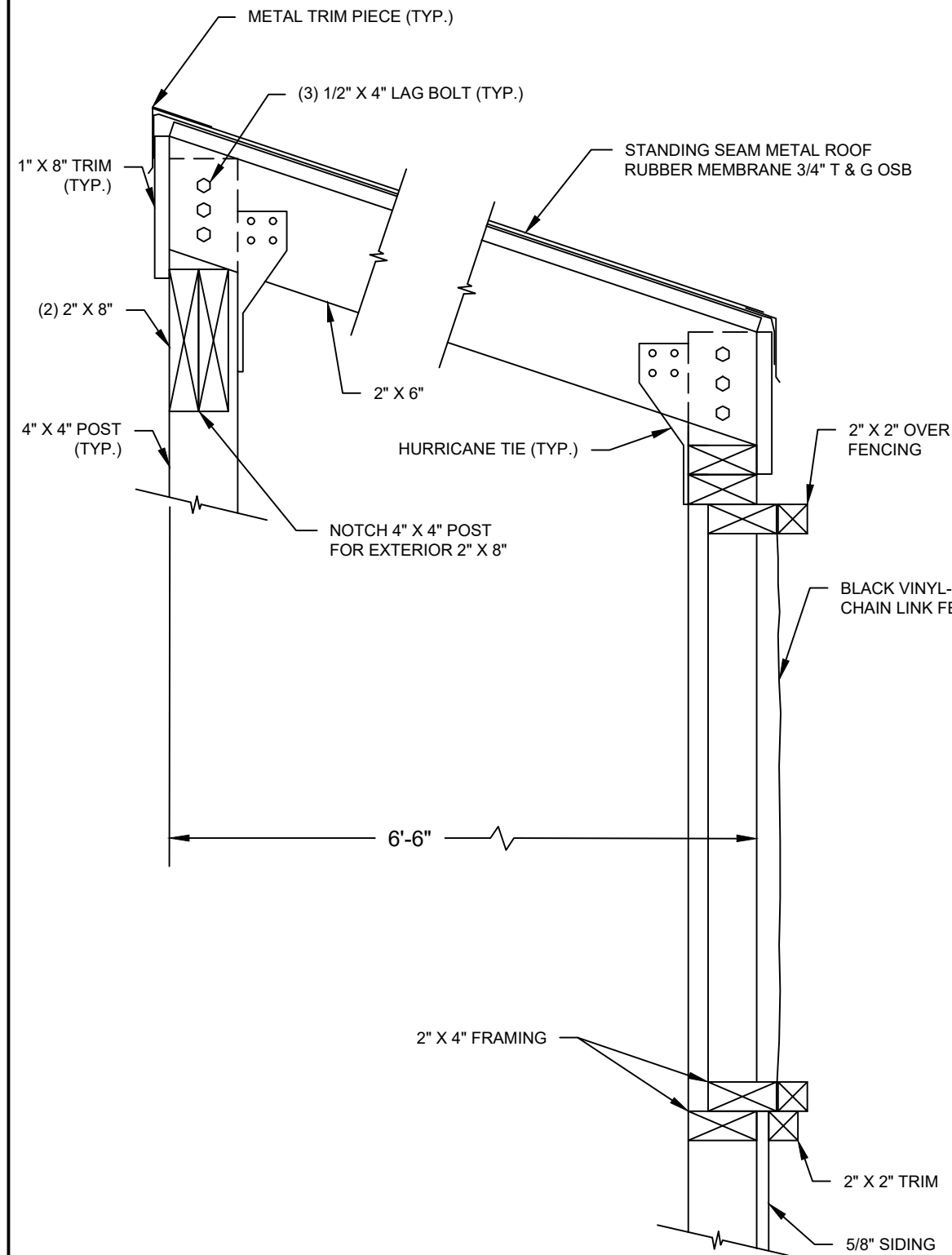
1. PREFINISHED ALUMINUM BRAKE METAL FASCIA. COLOR TO MATCH EXISTING ROOF.
2. PREFINISHED ALUMINUM WRAP. COLOR AND PROFILE TO MATCH EXISTING ROOF.
3. PREFINISHED METAL STANDING SEAM ROOF PANELS. PROFILE AND COLOR TO MATCH EXISTING ROOF PANELS. ATTACHMENT OF PANELS TO ROOF DECK TO BE PER MANUFACTURER'S REQUIREMENTS FOR BUILDING CODE WIND VELOCITY OF 115 MILES PER HOUR.
4. TWO - 5/8" DIA. X 3" LAG SCREWS (GALVANIZED).
5. TIE DOWN STRAP - 1/4" X 2 1/2" ASTM A36 MATERIAL (GALVANIZED). TWIST AS REQUIRED TO FIT FLAT AGAINST ROOF JOIST AND FACE OF CMU WALL.
6. TWO - 1/2" DIA. MASONRY ANCHORS - HILTI HIT HY20 OR EQUAL. INSTALL PER MANUFACTURER'S REQUIREMENTS, INCLUDING USE OF SCREEN TUBE IN HOLLOW CMU. ANCHOR ROD, NUT, AND WASHER SHALL BE GALVANIZED.
7. PREFINISHED ROOF RIDGE CAP. COLOR AND PROFILE TO MATCH EXISTING.



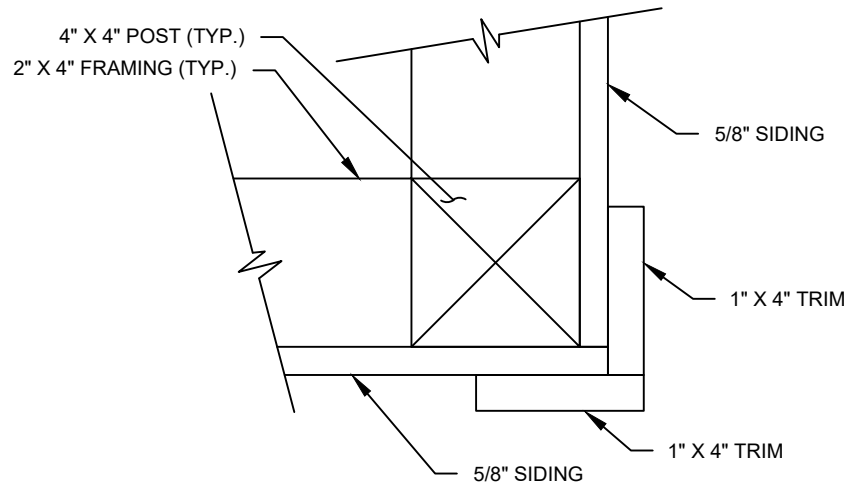
PLAN
SCALE: 3/16"= 1'-0"



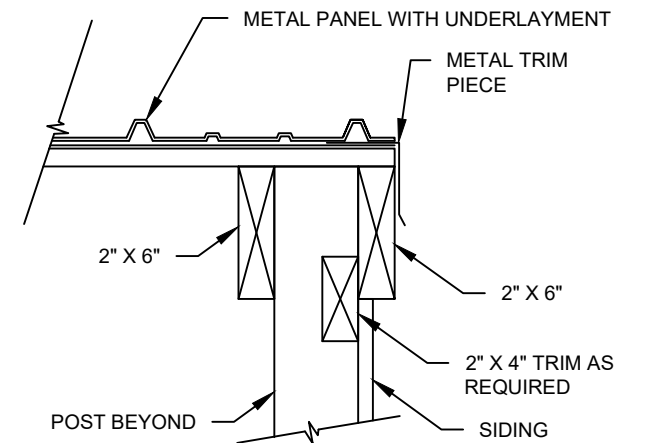
END ELEVATION
SCALE: 3/16"= 1'-0"



A SECTION
SCALE 1 1/2"= 1'-0"



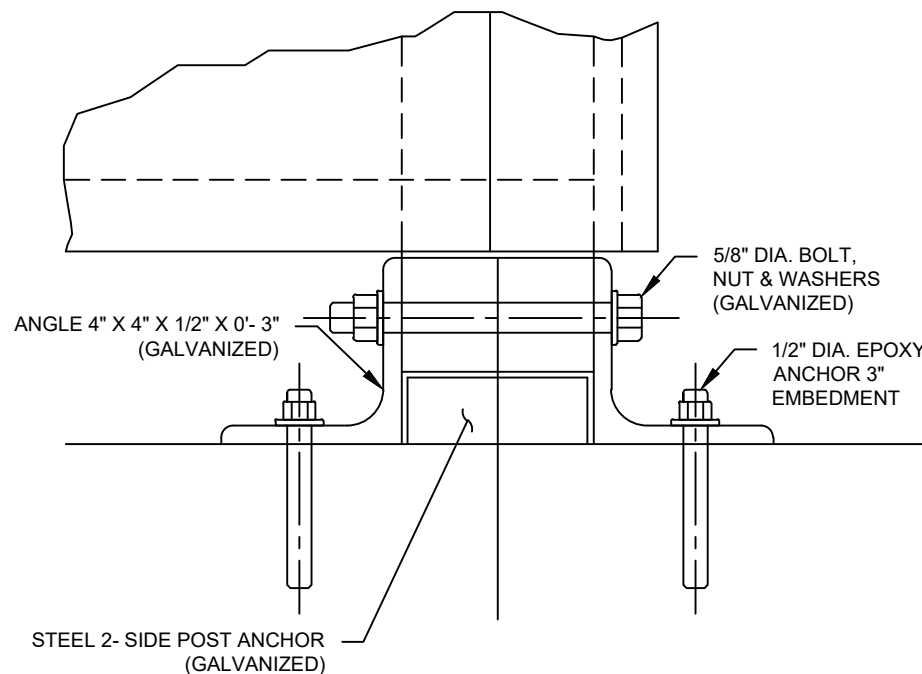
B SECTION
SCALE 3"= 1'-0"



D SECTION
SCALE 1 1/2"= 1'-0"

DUGOUT NOTES:

1. GENERAL DUGOUT CONSTRUCTION SHALL MATCH THE CONSTRUCTION OF THE EXISTING DUGOUTS AT THE ADJACENT DIAMONDS; INCLUDING TRIM DETAILS, MAIN SIDING COLOR, AND TRIM COLOR.
2. ALL WOOD USED FOR FRAMING AND TRIM SHALL BE PRESSURE TREATED FOR USE IN GROUND CONTACT. ALL HARDWARE AND SCREWS USED FOR FRAMING OF TREATED WOOD MEMBERS SHALL BE COMPATIBLE WITH AND IN COMPLIANCE WITH THE TREATED WOOD MANUFACTURER'S RECOMMENDATIONS FOR FASTENERS AND HARDWARE. DO NOT COAT TREATED WOOD UNTIL THE MOISTURE CONTENT MEETS THE REQUIREMENTS OF THE COATING MANUFACTURER.
3. THE SPACING OF VERTICAL GROOVES IN THE SIDING SHALL MATCH THAT AT EXISTING DUGOUTS. ATTACH SIDING TO EACH SUPPORT FRAMING MEMBER WITH #8 SCREWS AT A MAXIMUM SPACING OF 6 INCHES. COAT EXTERIOR OF SIDING WITH ONE COAT OF PRIMER AND TWO COATS OF EXTERIOR LATEX PAINT. PRIMER SHALL BE COMPATIBLE WITH FINISH PAINT.
4. ROOF PANELS SHALL BE 24 GAGE PREFINISHED METAL STANDING SEAM ROOF PANELS WITH A PROFILE AND COLOR THAT MATCHES EXISTING DUGOUTS. ATTACHMENT OF PANELS TO OSB SHALL BE PER MANUFACTURER'S REQUIREMENTS FOR BUILDING CODE WIND VELOCITY OF 115 MILES PER HOUR.
5. HURRICANE TIES SHALL BE MITEK RT7A 18 GAGE, OR EQUAL. TIES SHALL BE GALVANIZED.
6. EPOXY ANCHORS SHALL BE HILTI HIT-HY 150 MAX WITH HAS-V36 RODS, OR EQUAL. RODS, WASHERS, AND NUTS SHALL BE GALVANIZED.



C SECTION
SCALE 3"= 1'-0"

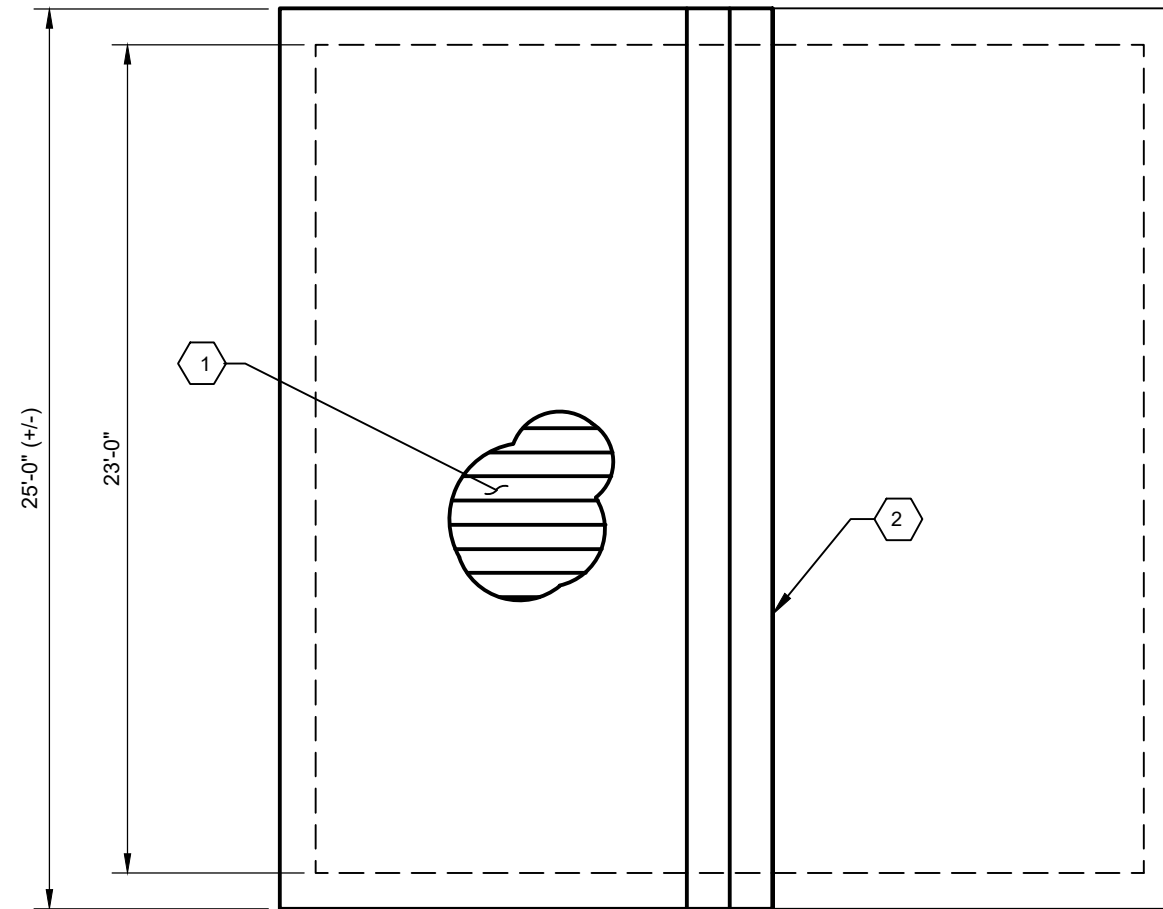


Diagram illustrating a building section with a wall and a door. Callout 4 points to the wall, and callout 5 points to the door. Dimensions are provided for the door and window.

Component	Dimension
Door	4'-0"
Window	5'-0" (+/-)

8'-0"

1'-0" (TYP.)

23'-0"

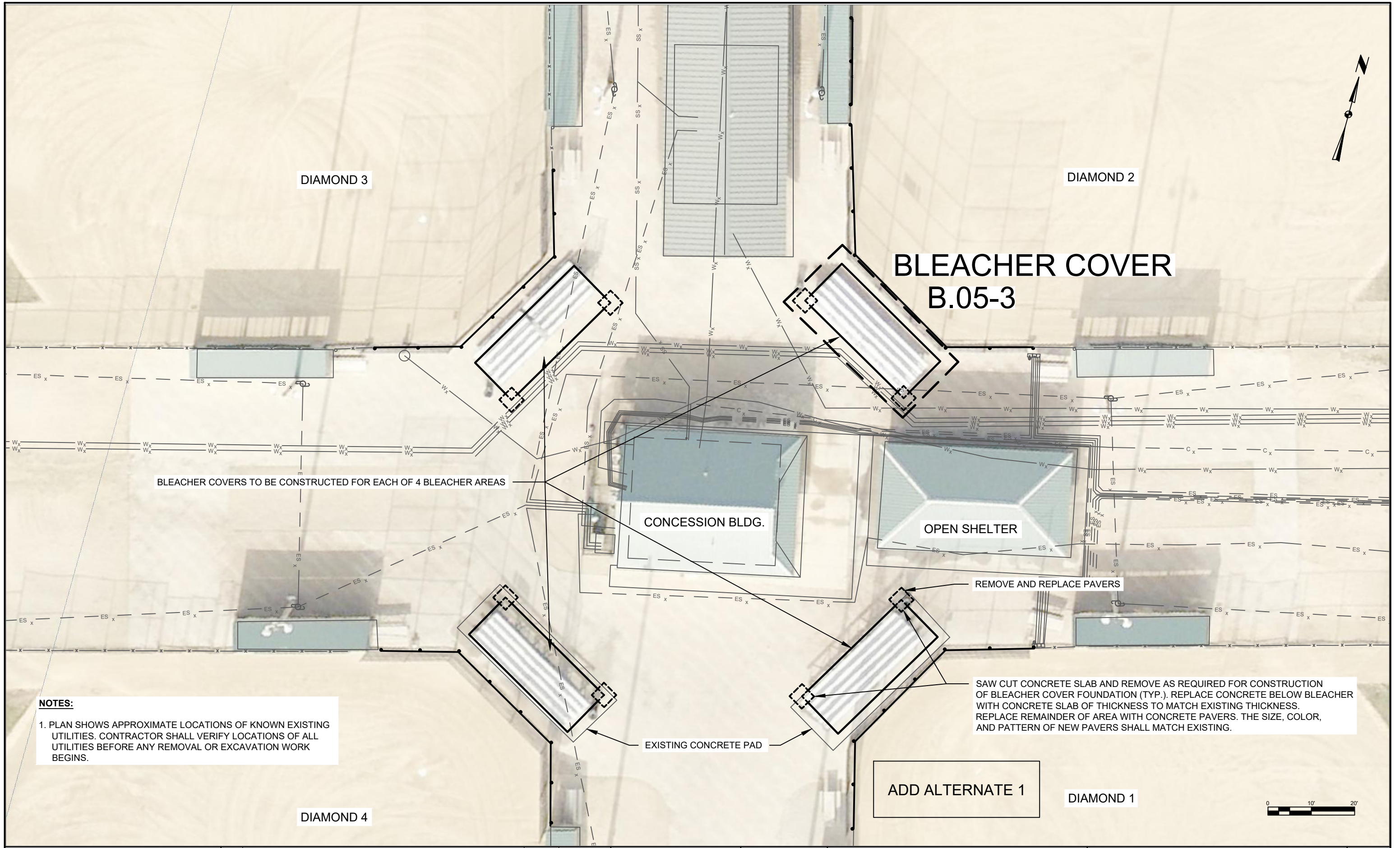
3

6

6

SHEET No.

B.04-3



NOTES:
1. PLAN SHOWS APPROXIMATE LOCATIONS OF KNOWN EXISTING UTILITIES. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES BEFORE ANY REMOVAL OR EXCAVATION WORK BEGINS.

SAW CUT CONCRETE SLAB AND REMOVE AS REQUIRED FOR CONSTRUCTION OF BLEACHER COVER FOUNDATION (TYP.). REPLACE CONCRETE BELOW BLEACHER WITH CONCRETE SLAB OF THICKNESS TO MATCH EXISTING THICKNESS. REPLACE REMAINDER OF AREA WITH CONCRETE PAVERS. THE SIZE, COLOR, AND PATTERN OF NEW PAVERS SHALL MATCH EXISTING.

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